

COMMUNITY DEVELOPMENT DEPARTMENT

300 North "D" Street • San Bernardino • CA 92418-0001
Planning & Building 909.384.5057 • Fax: 909.384.5080
www.sbcity.org

January 7, 2013

Michael P. Burrows
Deputy Director Development/Properties
San Bernardino International Airport Authority
1601 East 3rd Street
San Bernardino, CA 92408

SUBJECT: DEVELOPMENT PERMIT TYPE 2 12-21 - A REQUEST TO CONSTRUCT NEW AVIATION HANGARS AND FACILITIES INCLUDING: 71,914-SQUARE FOOT FOR SHERIFF'S HELICOPTER FACILITIES, 14,205-SQUARE FOOT FOR MEDICAL HELICOPTER FACILITIES, 68,892-SQUARE FOOT FOR GENERAL AVIATION HANGARS, GENERAL AVIATION TIE-DOWN AREA APPROXIMATELY 2 ACRES IN SIZE, AND A NEW 1,500 FOOT TAXIWAY EXTENSION. THE PROJECT SITE IS 32.6 ACRES IN SIZE AT SAN BERNARDINO INTERNATIONAL AIRPORT, AND LOCATED APPROXIMATELY 1/4 MILE SOUTH OF EAST 3RD STREET AND 1/4 MILE WEST OF PALM AVENUE, IN THE AIRPORT (A) LAND USE DISTRICT.

Dear Mr. Burrows,

This is to notify you that on December 20, 2012, the Development/Environmental Review Committee approved the above project, based on the Findings of Fact in the City of San Bernardino Development Code Section 19.44.060 and subject to the attached Conditions of Approval.

At this time, you may wish to have a meeting with the City to discuss the subsequent planning process leading to completion of your project. The meeting can assist in understanding the procedural aspects of implementing the conditions of approval, and any subsequent submittal to the Land Development and Building & Safety Divisions.

Should you have questions regarding the approval of the above project, please call me at (909) 384-5057, ext. 3332.

Sincerely,

[Signature]

Aron Liang
Senior Planner

Enclosures: Final Project Conditions of Approval
Copy of approved exhibits

cc: Senior Engineer, G. Akers
Senior Plans Examiner, J. Sowers
DP2 12-21

SBIA
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Page 2

FINAL CONDITIONS OF APPROVAL
Development Permit Type 2 12-21

- 1. This approval is for construction of new aviation hangars and facilities including 71,914-square foot for sheriff's helicopter facilities, 14,205-square foot for medical helicopter facilities, 68,892-square foot for general aviation hangars, general aviation tie-down area approximately 2 acres in size, and a new 1,500 foot taxiway extension. The project site is 32.6 acres in size at San Bernardino International Airport, and located approximately 1/4 mile south of east 3rd Street and 1/4 mile west of Palm Avenue, in the Airport (A) land use district. All development shall be in substantial conformance to submitted plans date stamped November 28, 2012.
2. Within two years of Development Permit approval, commencement of construction shall have occurred or the permit approval shall become null and void. In addition, if after commencement of construction, work is discontinued for a period of one year, then the permit approval shall become null and void. However, approval of the Development Permit does not authorize commencement of construction. All necessary permits must be obtained prior to commencement of specified construction activities included in the Conditions of Approval.
3. The review authority may, upon an application being filed 30 days prior to the expiration date and for good cause, grant a one-time extension, not to exceed 12 months. The review authority shall ensure that the project complies with all Development Code regulations.
4. In the event this approval is legally challenged, the City will promptly notify the applicant of any claim, action or proceeding and will cooperate fully in the defense of this matter. Once notified, the applicant agrees to reimburse the City for any costs and attorneys' fees which the City may be required by a court to pay as a result of such action, but such participation shall not relieve applicant of his or her obligation under this condition.

Expiration Date: December 20, 2014

The costs, salaries, and expenses of the City Attorney and employees of his office shall be considered as "attorneys fees" for the purpose of this condition. As part of the consideration for issuing this Development Permit, this condition shall remain in effect if the Development Permit is rescinded or revoked, whether or not at the request of applicant.

Final Conditions of Approval
DP2 12-21
12.20.2012
Page 2

- 5. Modifications to the plans shall be subject to the applicable provisions of Development Code Chapter 19.60, Minor Modifications.
6. The project shall comply with the requirements of other agencies, as applicable (e.g. Air Quality Management District, San Bernardino County Flood Control District, California Department of Fish and Game, Regional Water Quality Control Board, etc.).
7. The property owner(s), facility operator and property management shall be responsible for regular maintenance of the site. Vandalism, graffiti, trash and other debris shall be removed within 24 hours.
8. Signs are not approved as a part of this permit. Prior to establishing signs, the applicant shall submit an application for approval by the Planning Division.
9. All exterior lighting shall be energy efficient with the option to lower or reduce usage when the facility is closed.
10. Development of the project shall be subject to the mitigation measures in the Mitigation Monitoring/Reporting Program (MMRP) approved under Development Permit Type 2 06-26, incorporated by reference in these Conditions of Approval.
11. A Hydrology Report will be required for the project. Any drainage improvements, structures or storm drains needed to mitigate downstream impacts or protect the development shall be designed and constructed at the developer's expense.
12. A Water Quality Management Plan (WQMP) and Storm Water Pollution Prevention Plan (SWPPP) are required for this project. The WQMP and SWPPP shall be approved prior to issuance of the grading permit.
13. All contaminated drainage from spills in the vicinity of the fuel dispensers shall be contained in a tank on-site and properly disposed of by hauling to an approved contaminated waste disposal facility. Contaminated drainage shall not be discharged into the City streets or storm drain system.
14. A liquefaction evaluation is required for the site. This evaluation must be submitted and approved prior to issuance of a grading permit. Any grading requirements recommended by the approved liquefaction evaluation shall be incorporated in the grading plan.
15. The grading and drainage plan shall be signed and sealed by a Registered Civil Engineer licensed to practice in the State of California and a grading permit will also be required.
16. An On-site Improvement Plan and permit are required for this project. Where feasible, this plan shall be incorporated with the grading plan. The following improvements shall be shown on the plan:

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Page 3

- i) The refuse enclosure in the parking lot east of the helicopter hangar facility needs to be relocated closer to the street in order to allow adequate access for refuse vehicles.
ii) All streets adjacent to the development and along "Y" Street up to 3rd Street shall be improved to City standards. Improvements shall include combination curb and gutters, paving, access ramps, streetlights, and sidewalks.
iii) Construct 8" Curb and Gutter per City Standard No. 200 adjacent to the site. Widen pavement adjacent to the site to match new curb and gutter. Construct approach and departure transitions for traffic safety and drainage.
iv) Install streetlights adjacent to the site and along "Y" Street up to the intersection at 3rd Street in accordance with City Standard Nos. SL-1 and SL-2.
v) The pavement on existing streets adjoining the site shall be rehabilitated using a strategy approved by the Community Development Department.
17. An On-site Landscaping and Irrigation plan and permit are required for this project.
18. This project is located in the sewer service area maintained by the Inland Valley Development Agency, any necessary sewer main extension shall be designed and constructed in accordance with requirements of IVDA.
19. An Off-site Improvement plan and permit are required for this project. The following improvements shall be shown:
i) Prior to occupancy, an exclusive westbound left-turn lane shall be installed at the intersection of Third Street and 105th Street. The storage length of this turn lane shall be 175 feet.
20. A traffic signal shall be installed on 3rd Street at the ultimate entrance to the airport when warranted. The traffic signal and striping plan shall be submitted as a separate Off-site improvement plan.
21. Electronic files of all improvement plans/drawings shall be submitted to the City Engineer. The files shall be compatible with AutoCAD 2000, and include a DXF file of the project. Files shall be on a CD and shall be submitted at the same time the final mylar drawings are submitted for approval.
22. No final Certificate of Occupancy shall be issued until all conditions of approval have been completed.

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23. This permit or approval is subject to the attached conditions of the following City Departments/Divisions:

- A. Fire Department
B. Water Department

End of Conditions of Approval

CITY OF SAN BERNARDINO FIRE DEPARTMENT STANDARD REQUIREMENTS
GENERAL REQUIREMENTS:
WATER PURVEYOR FOR FIRE PROTECTION:
PUBLIC FIRE PROTECTION FACILITIES:
ACCESS:
SITE:
BUILDINGS:
ADDITIONAL INFORMATION: (1) NFPA 101 shall apply to the design of this project, and a third party plan check of fire protection requirements is required for this project. Attention is a fire test. (2) All plans shall be submitted to the existing fire plan to the Fire Department. (3) All plans shall comply with fire department 2010 CFC, CEC and NFA standards. (4) Year tabular data.

SAN BERNARDINO MUNICIPAL WATER DEPARTMENT STANDARD REQUIREMENTS
DRG/ERC Case: DEVELOPMENT PERMIT 2 NO. 12-21
APN NUMBER: Multiple Parcels
EPA NUMBER: 2007-002
REVIEW OF PLANS: 12/20/2012
DATE COMPILED: 12/20/2012
COMPILED BY: Brunson, Ted
OWNER: Same as above
DEVELOPER: San Bernardino International Airport Authority (SBIAA)
TYPE OF PROJECT: A request to construct new aviation facilities including 71,914 SF for Sheriff's helicopter facilities, 14,205 SF for medical helicopter facilities, 68,892 SF for general aviation hangars, general aviation tie-down area (2 acres), - cont. below -
NUMBER OF UNITS: 0
LOCATION: 32.6 acres in size at San Bernardino International Airport, and located approximately 1/4 mile south of E. 3rd Street and 1/4 mile west of Palm Avenue, in the Airport (A) land use district.
WATER DEPARTMENT ENGINEERING:
CONTACT: Nevarez, Mike
PHONE NUMBER: (909) 384-5052
FAX NUMBER: (909) 384-6532
Note: All Water Services are Subject to the Rules/Regulations of the Water Department
Size of Main Adjacent to the Project: Various 6" & 8" mains on the project site.
Approximate Water Pressure: 80 psi
Elevation of Water Storage: 0
Hydrant Flow @ 20psi:
Type, Size, Location and Distance to Nearest Fire Hydrant: W36-122, W36-125
Water Supply Study Required
Pressure Regulator Required on Customer Side of the Meter
On-site Water Facilities Required
Water Main Reimbursement Due
Area Not Served by San Bernardino Municipal Water Department
Network Hydraulic Analysis Required per Uniform Design Standards
Comments: a 1500' taxiway extension. The project site is 32.6 acres at the San Bernardino International Airport in the Airport (A) land use district.
HYDRAULIC ANALYSIS REQUIRED
MAIN EXTENSION REQUIRED
DEVELOPER INSTALLED AGREEMENT REQUIRED
WATER QUALITY CONTROL:
CONTACT: Arieta, Con
PHONE NUMBER: (909) 384-5325
FAX NUMBER: (909) 384-6228
R.P.P. Backflow Device Required at Service Connection for Domestic Service
Double Check Backflow Device Required at Service Connection for Fire and Irrigation
Backflow Device to be Inspected before Water Service can be Activated
No Backflow Device is required at this time
SEWER CAPACITY INFORMATION:
CONTACT: Nevarez, Mike
PHONE NUMBER:
FAX NUMBER:
Note: Proof of Payment Must be Submitted to the Building Safety Department Prior to Issuance of the Building Permit
Sewer Capacity Fee Applicable at this time
Sewer Capacity Fee must be paid to the Water Department for
Gallons Per Day: Equivalent Dwelling Units: G
Subject to Recalculation of Fee prior to the Issuance of Building Permit.
Breakdown of Estimated Gallons Per Day
COPY TO: Customer; Planning; Engineering
Thursday, December 20, 2012
EPM
Page 1 of 1

811 Know what's below. Call 811 before you dig.
BENCHMARK: S 1418
2.65 MI EAST ALONG 3RD STREET FROM THE SAN BERNARDINO COUNTY COURTHOUSE IN SAN BERNARDINO, 0.10 MI WEST OF STERLING AVENUE, IN TOP AND 1.0 FT WEST OF THE EAST END OF THE NORTH HEADWALL OF A DOUBLE-BOX CULVERT UNDER THE STREET, 32.0 FT NORTH OF THE WESTBOUND LANES CENTERLINE.
FLV# = 110115
BASIS OF BEARINGS: THE BEARINGS SHOWN HEREON ARE BASED UPON THE LINE BETWEEN CITY OF SAN BERNARDINO HORIZONTAL CONTROL POINTS #0025 AND #0026 BEING N29°03'47"E AS SHOWN ON RECORD OF SURVEY 87-0077 RECORDED IN BOOK 113, PAGES 15-22 OF RECORDS OF SURVEY.



PLANS PREPARED UNDER SUPERVISION OF:
PARSONS BRINCKERHOFF
451 E. Vanderbilt Way Suite 200, San Bernardino CA
TEL: 909.888.1106 FAX: 909.889.1884
FOR BIDDING PURPOSES ONLY
NOT FOR CONSTRUCTION

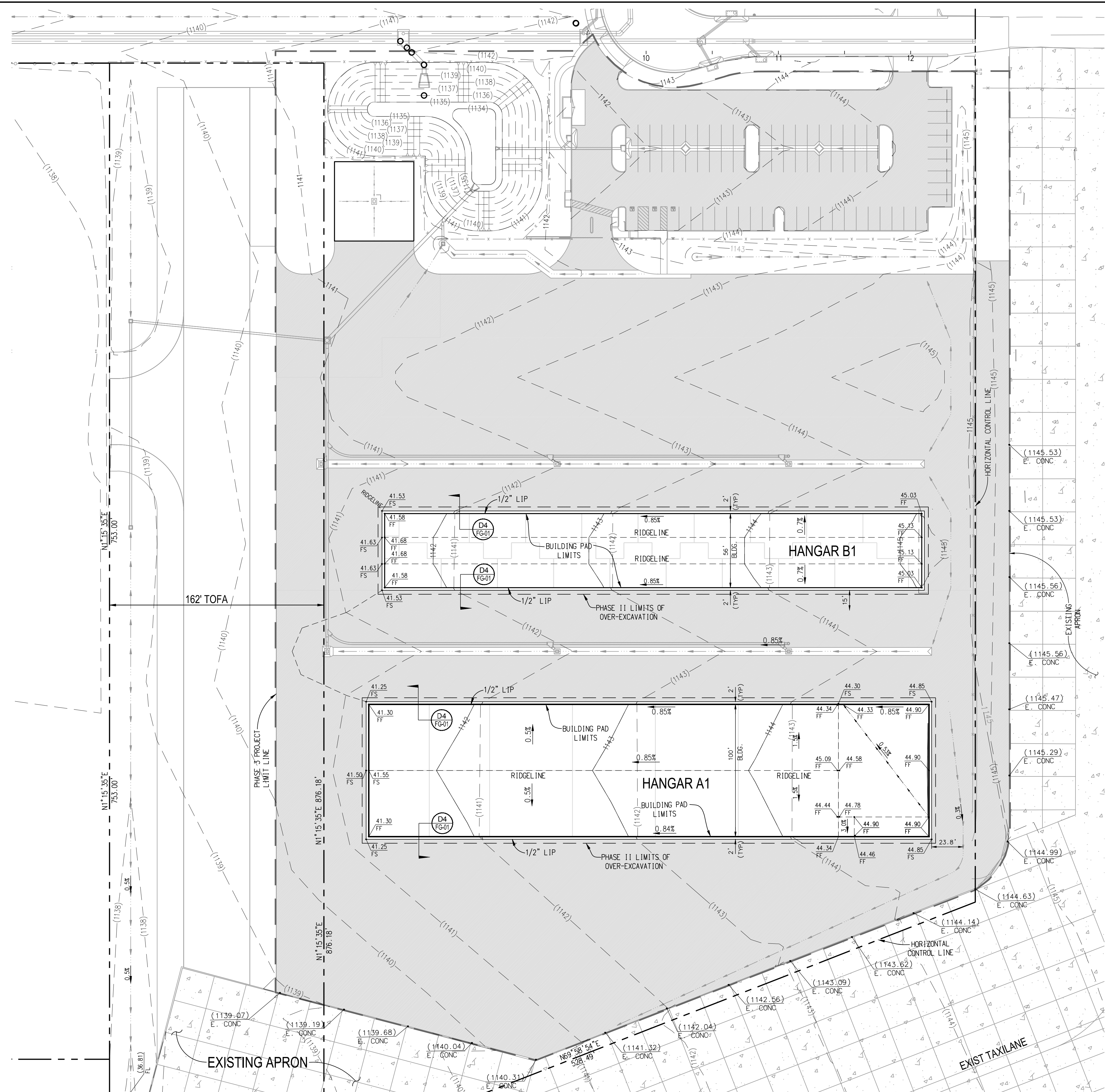
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INLAND VALLEY DEVELOPMENT AGENCY
1601 E. THIRD ST.
SAN BERNARDINO, CA 92408
P. 909-382-4100 F. 909-382-4106

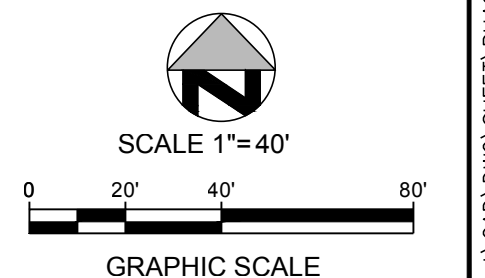
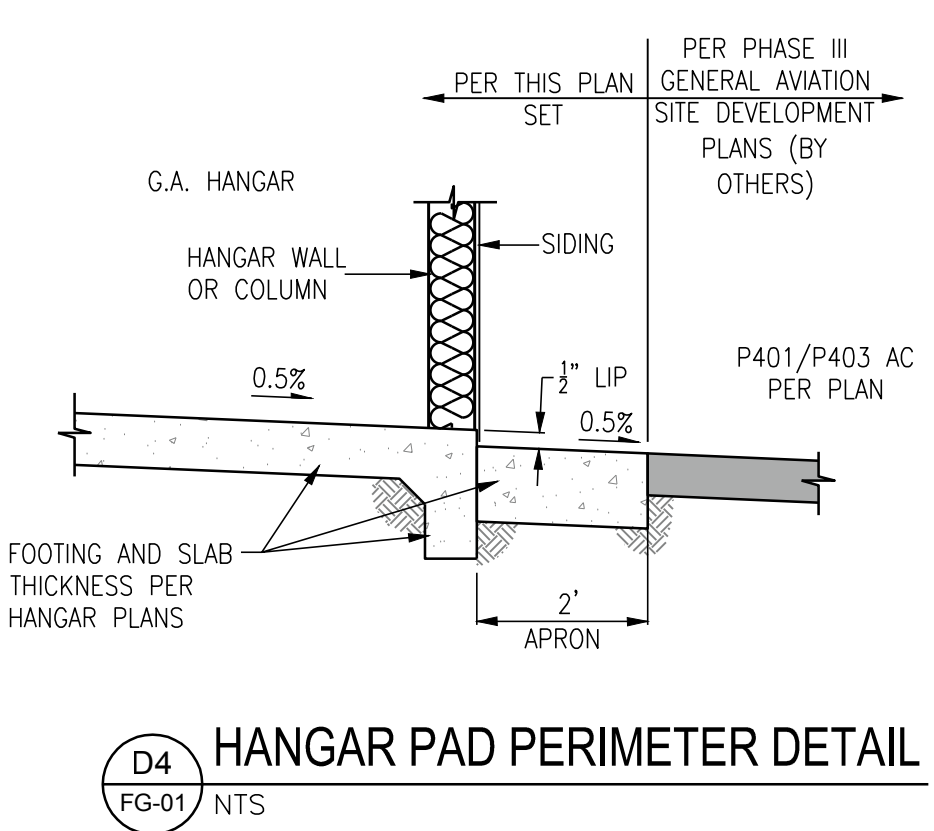
General Aviation Hangars
CONDITIONS OF APPROVAL

SHEET TITLE: G-03
SHEET No. 03 OF 11

DP2 12-21 APN: 0136-371-33

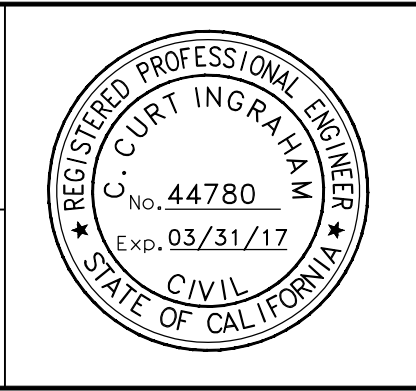


NOTE:
 EXISTING SECTION FROM PHASE II FOR HANGARS A1 AND B1 IS OVER-EXCAVATION AND RECOMPACTION OF NATIVE MATERIAL TO 95% FOR 1 FOOT DEPTH PER ASTM D-1557.



BENCHMARK:
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 ELEV = 1101.15

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REVISION BLOCK		
MARK	DESCRIPTION	APPR DATE

DESIGNED BY
 SS

DRAWN BY
 BW

CHECKED BY
 CCI

DATE
 10/10/2014

INLAND VALLEY DEVELOPMENT AGENCY

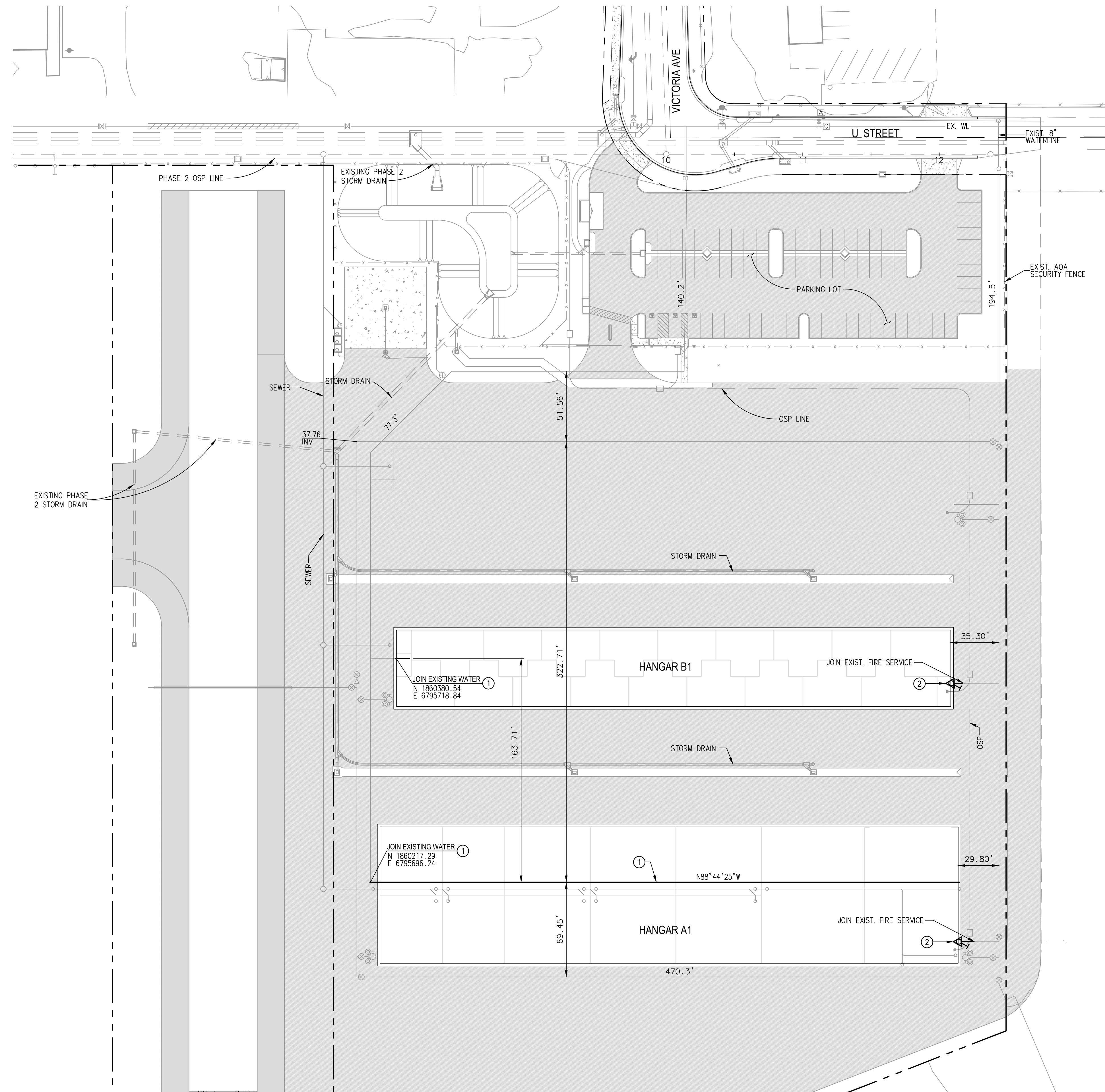
1601 E. THIRD ST.
 SAN BERNARDINO, CA 92408
 P. 909-382-4100 F. 909-382-4106

General Aviation Hangars

PRECISE GRADING PLAN

SHEET TITLE:
FG-01

SHEET No.
 05 OF 11

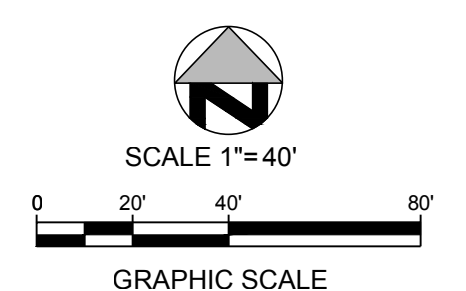


SEWER CONSTRUCTION ITEMS:

- ① INSTALL 1.5" SCHEDULE 80 DOMESTIC WATERLINE
- ② INSTALL BUILDING FIRE RISER ASSEMBLY

NOTE:

ADDITIONAL WATERLINES TO BE INSTALLED AS NECESSARY FOR PLUMBING.



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ELEV. = 1101.18

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MARK	DESCRIPTION	APPR	DATE

DESIGNED BY
SS

DRAWN BY
BW

CHECKED BY
CCI

DATE
10/10/2014

**INLAND VALLEY
DEVELOPMENT AGENCY**

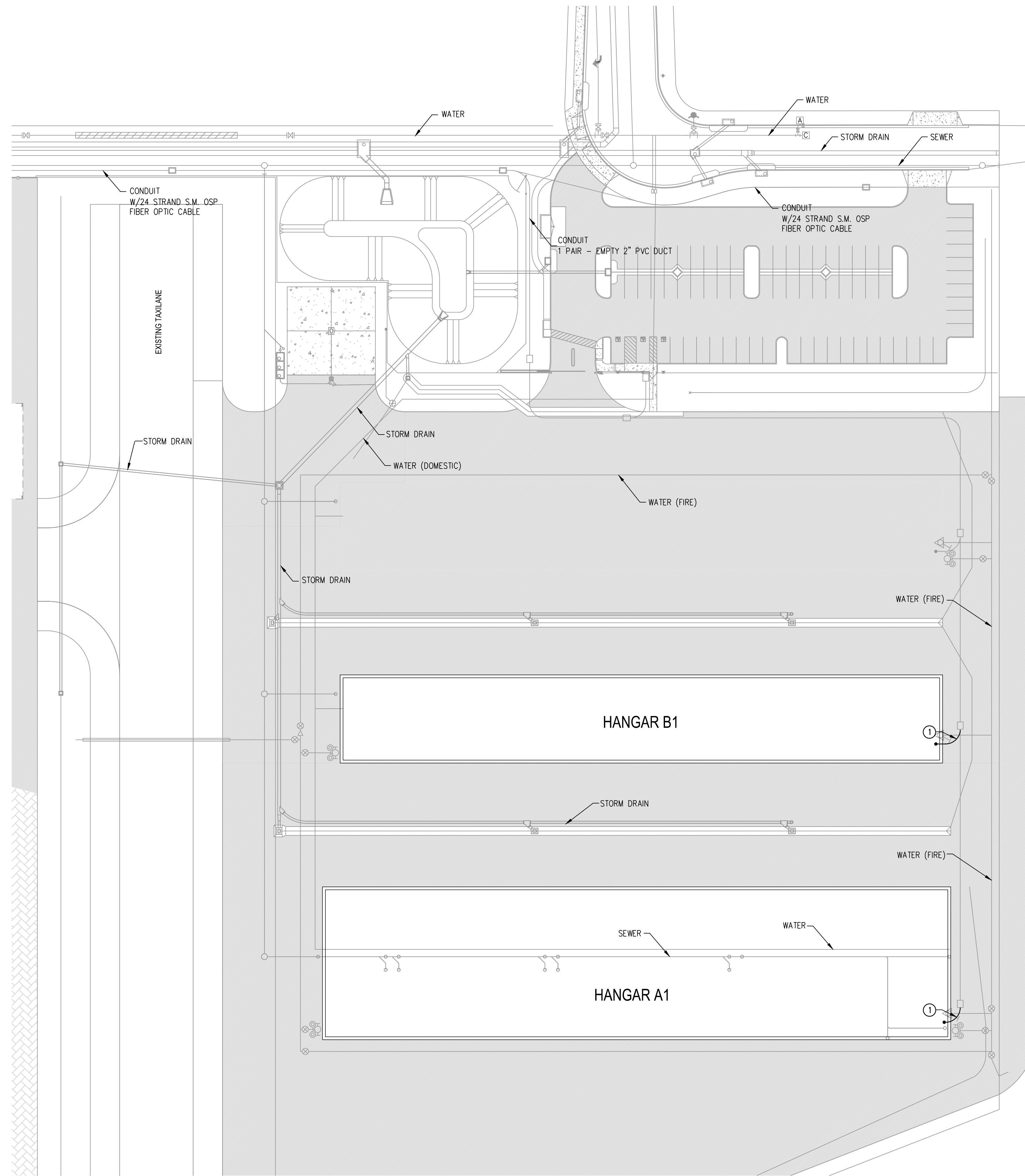
1601 E. THIRD ST.
SAN BERNARDINO, CA 92408
P. 909-382-4100 F. 909-382-4106

General Aviation Hangars

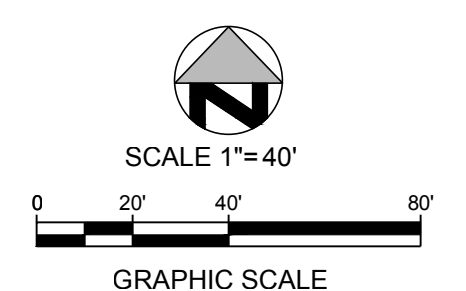
WATER PLAN

SHEET TITLE:
WT-01

SHEET No.
07 OF 11



COMMUNICATIONS CONSTRUCTION ITEMS
 ① INSTALL 1 PAIR OF EMPTY 2" PVC DUCTS IN CONCRETE ENCASUREMENT.



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 ELEV. = 1101.15

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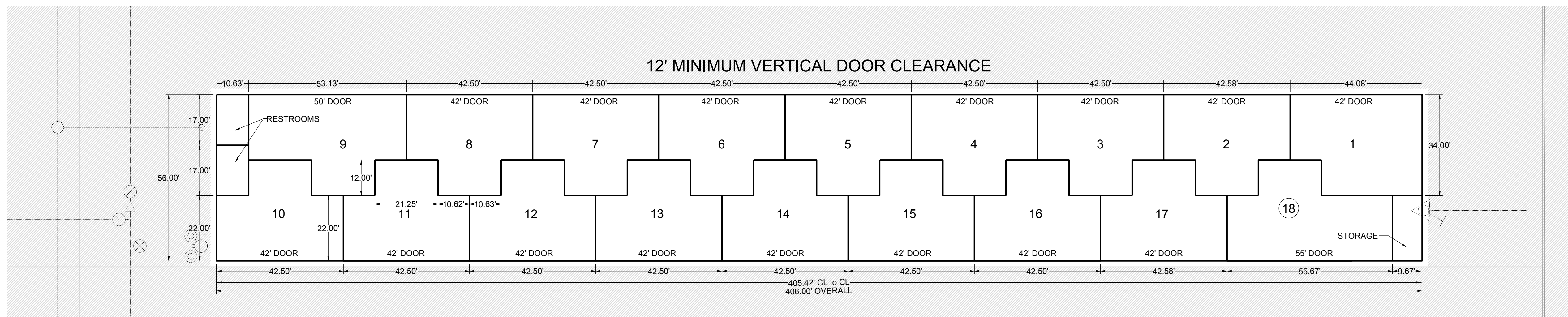
DESIGNED BY
 SS
 DRAWN BY
 BW
 CHECKED BY
 CCI
 DATE
 10/10/2014

INLAND VALLEY DEVELOPMENT AGENCY
 1601 E. THIRD ST.
 SAN BERNARDINO, CA 92408
 P. 909-382-4100 F. 909-382-4106

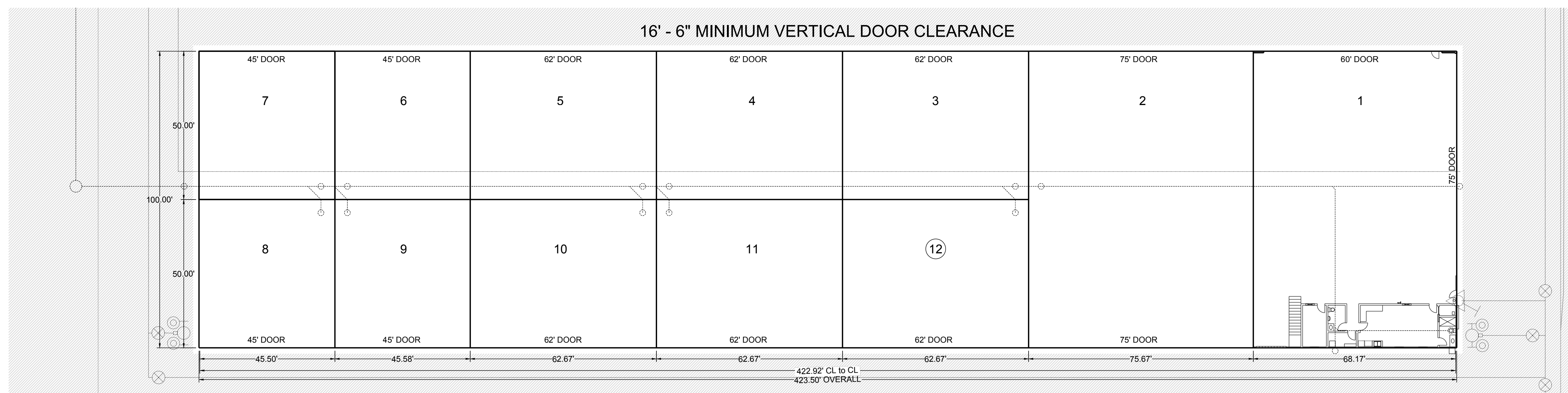
General Aviation Hangars
 OSP CAMPUS NETWORK AND COMMUNICATION SYSTEM

SHEET TITLE:
 OSP-01
 SHEET No.
 08 OF 11

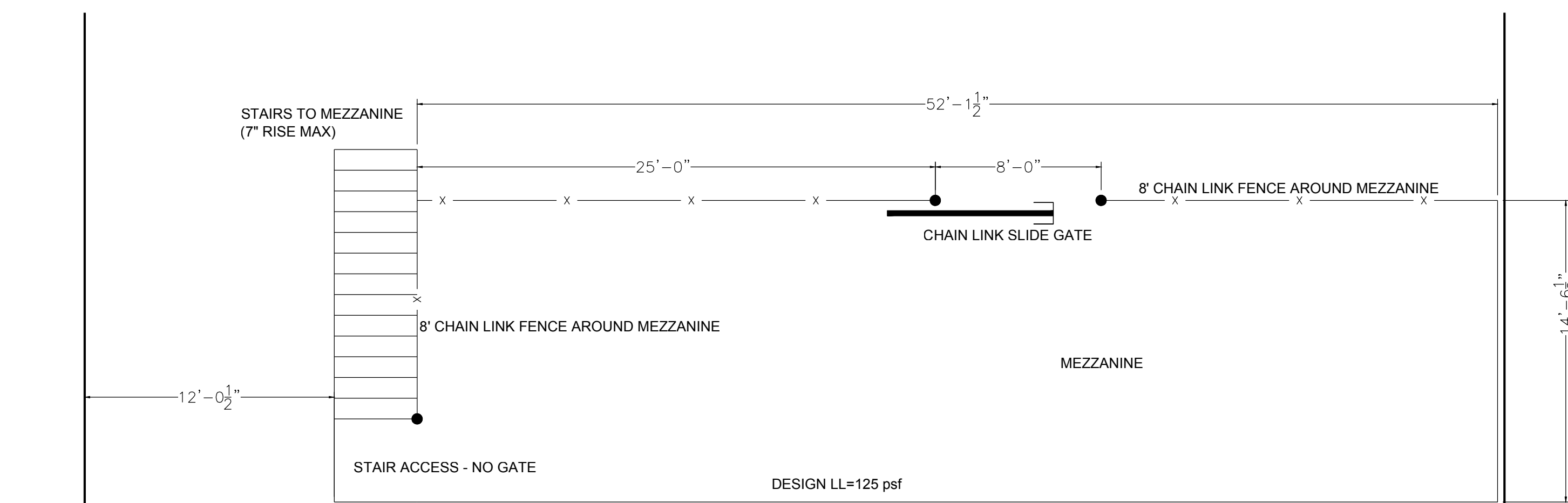
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DOOR WIDTHS ARE APPROXIMATE.



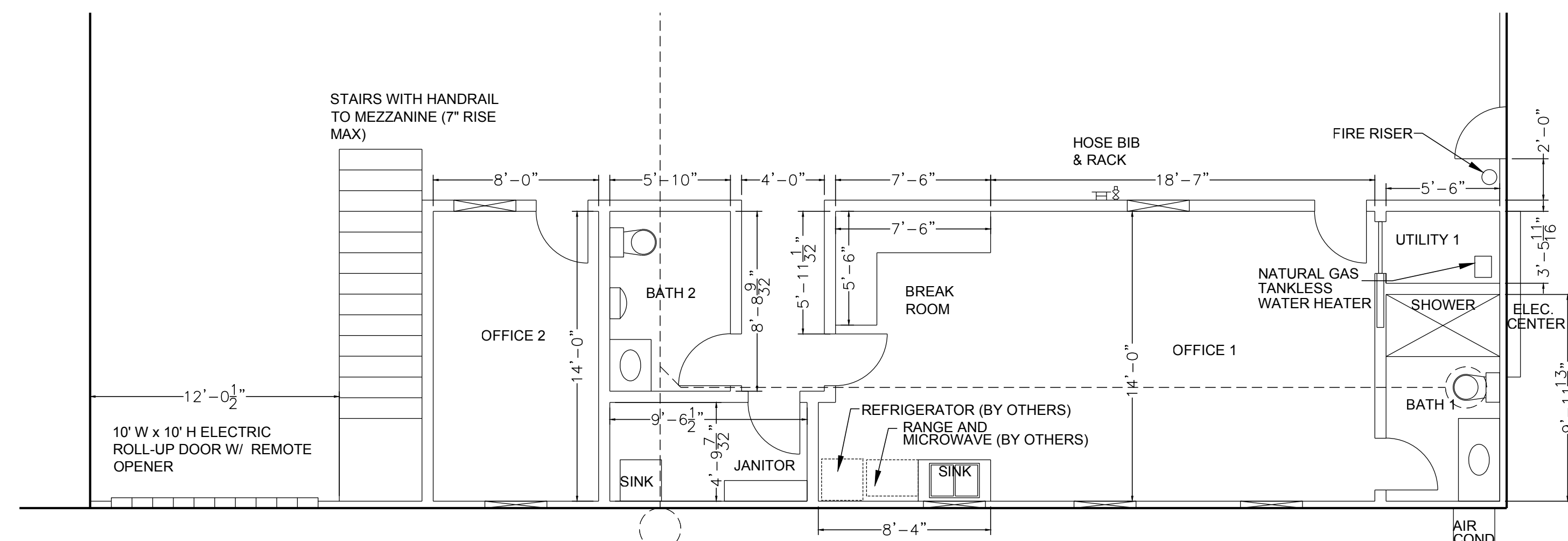
NESTED T-HANGARS B1



EXECUTIVE HANGAR A1



EXECUTIVE HANGAR A1-1 MEZZANINE FLOOR PLAN

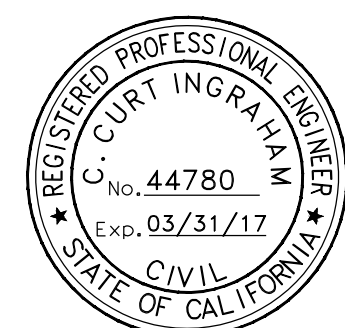


EXECUTIVE HANGAR A1-1 IMPROVEMENTS FLOOR PLAN



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ELEV. = 1101.15

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REVISION BLOCK		
MARK	DESCRIPTION	DATE

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SS

DRAWN BY
BW

CHECKED BY
CCI

DATE
10/10/2014

INLAND VALLEY
DEVELOPMENT AGENCY

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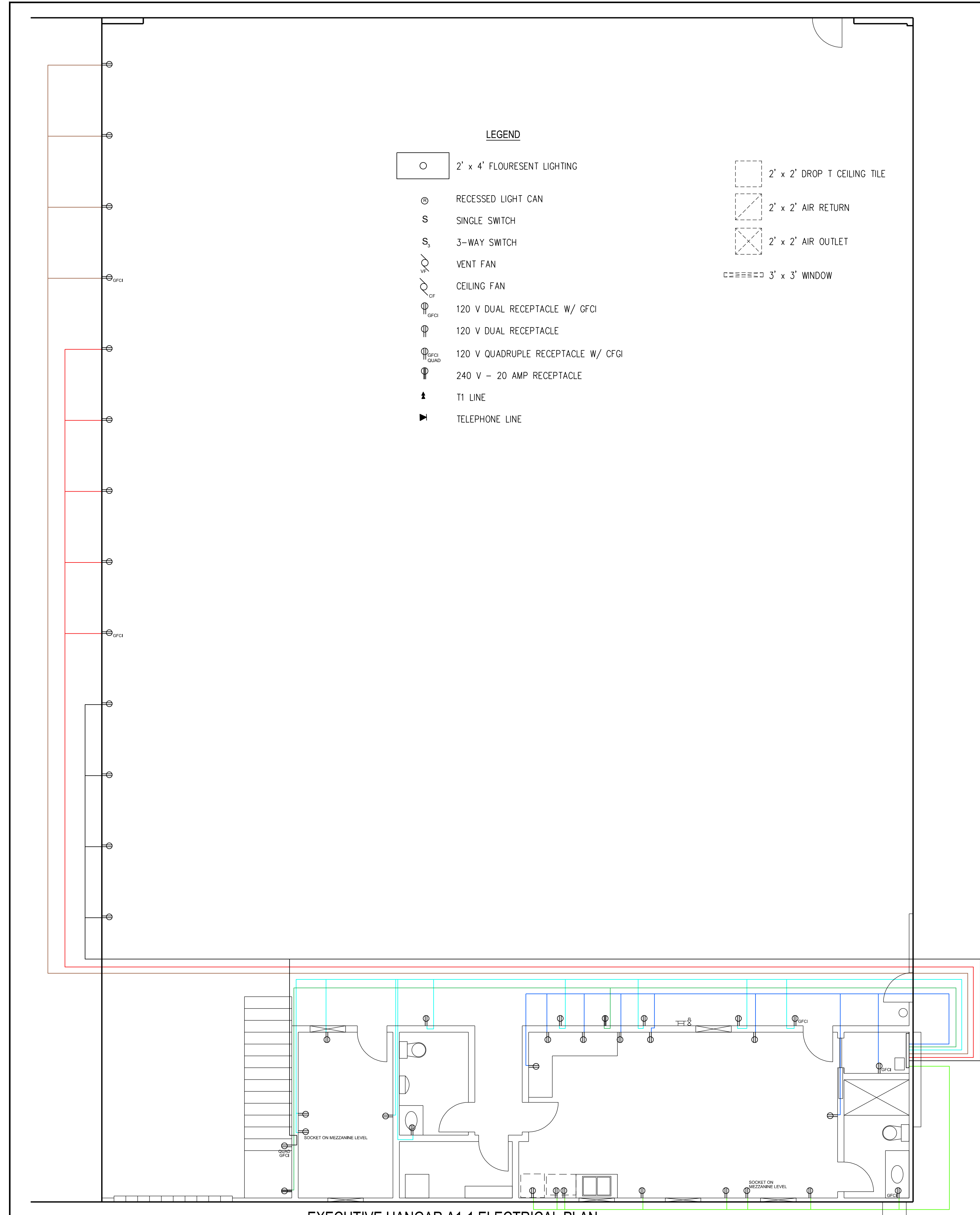
General Aviation Hangars

HANGAR LAYOUT

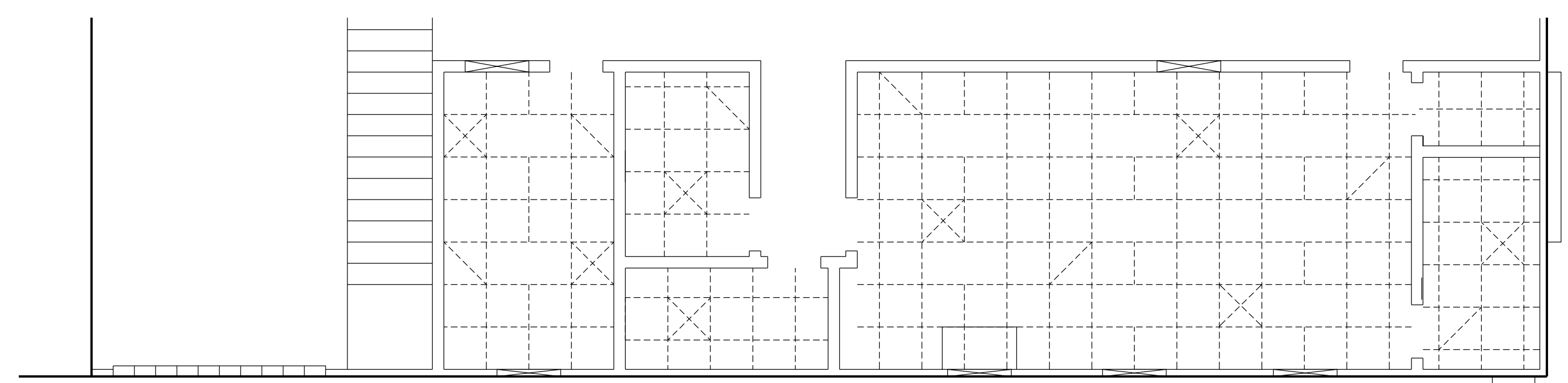
DP2 12-21 APN: 0136-371-33

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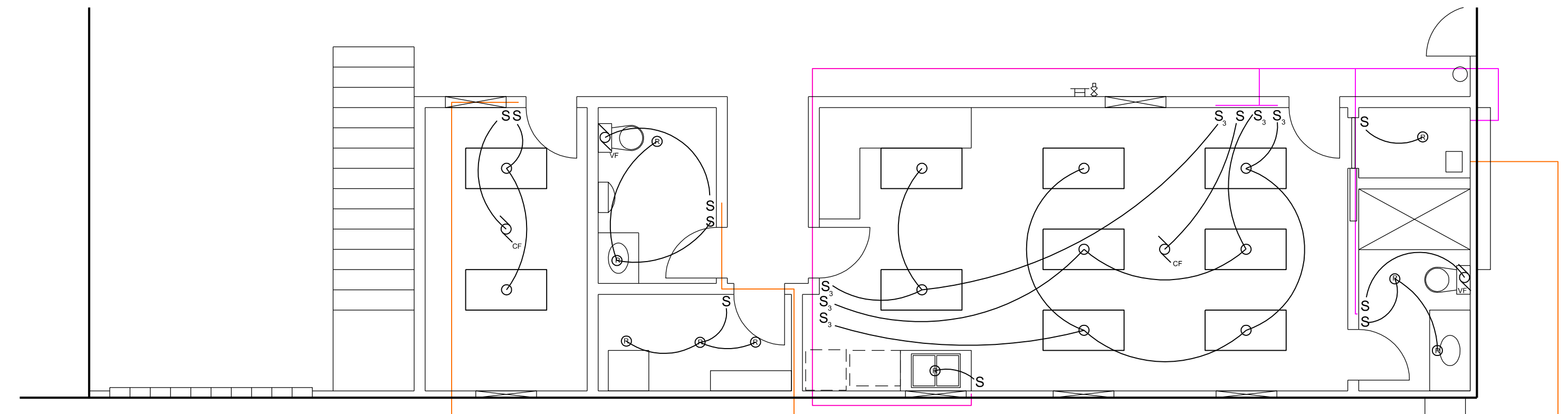
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09 OF 11



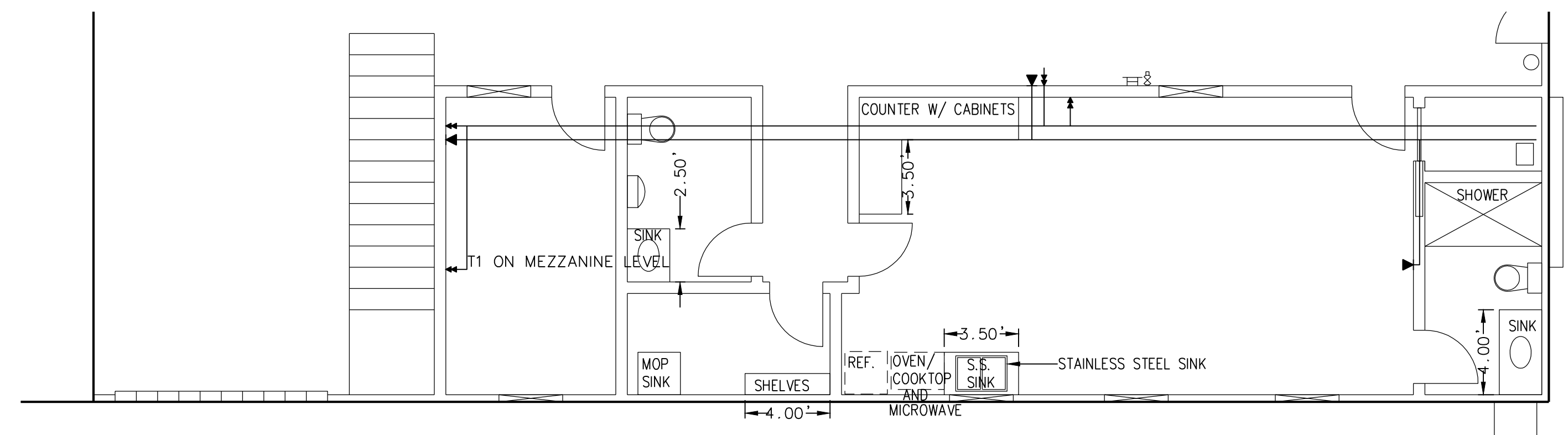
EXECUTIVE HANGAR A1-1 ELECTRICAL PLAN



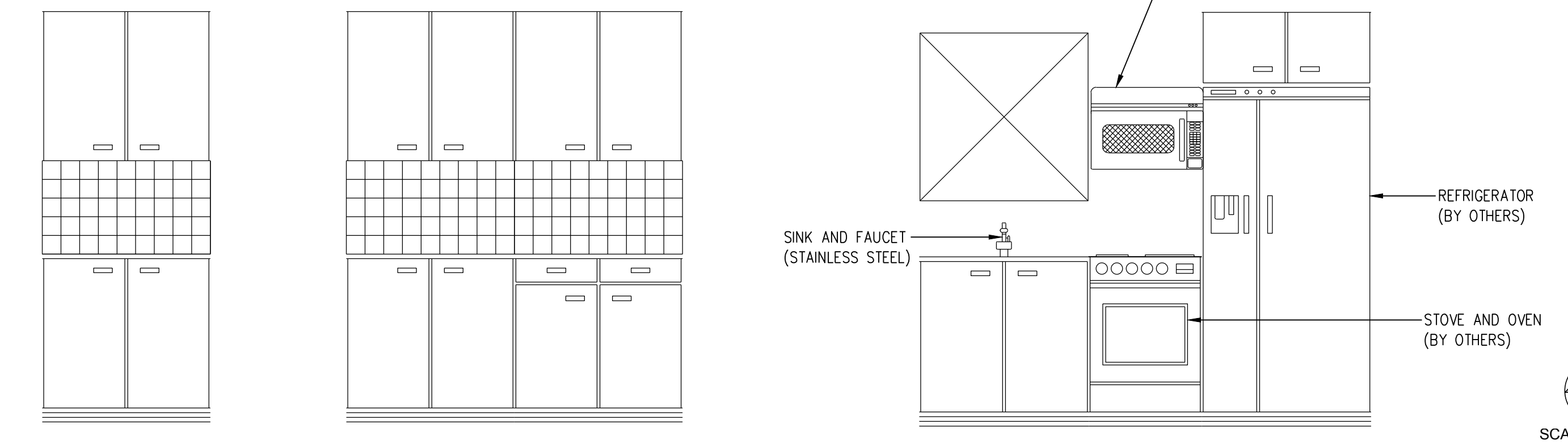
EXECUTIVE HANGAR A1-1 CEILING PLAN



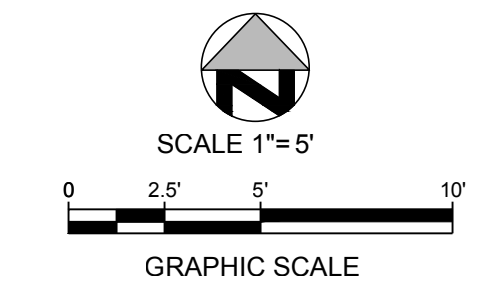
EXECUTIVE HANGAR A1-1 OFFICE LIGHTING PLAN



EXECUTIVE HANGAR A1-1 OFFICE COMMUNICATIONS AND SITE PLAN



EXECUTIVE HANGAR A1-1 BREAK ROOM COUNTER AND CABINET ELEVATION (NTS)

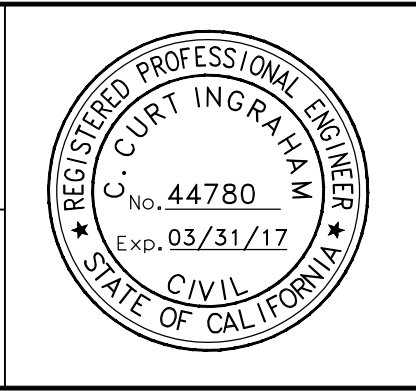


SCALE 1"=5'
GRAPHIC SCALE

811 Know what's below. Call 811 before you dig.

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S 1418
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DESIGNED BY
SS

DRAWN BY
BW

CHECKED BY
CCI

DATE
10/10/2014

INLAND VALLEY
DEVELOPMENT AGENCY

1601 E. THIRD ST.
SAN BERNARDINO, CA 92408
P. 909-382-4100 F. 909-382-4106


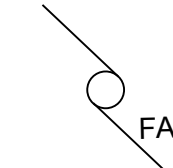
General Aviation Hangars

HANGAR LAYOUT

SHEET TITLE:
HL-02

SHEET No.
10 OF 11

LEGEND

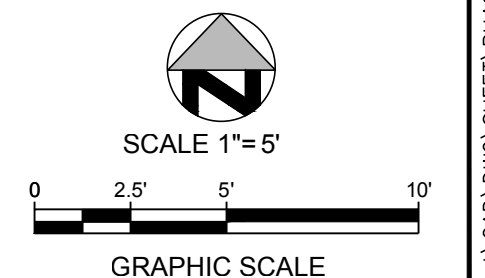
-  1/2" INDUSTRIAL AIR HOSE BIB AND ISOLATION VALVE
-  5' DIAMETER INDUSTRIAL DROP/HANGING FAN

NOTE: AIR-TUBING TO BE 1" BLACK-IRON PIPE.

AIR COMPRESSOR (BY OTHERS)

EXECUTIVE HANGAR A1-1 AIR COMPRESSOR LINE LAYOUT

EXECUTIVE HANGAR A1-1 HANGAR FAN LAYOUT



BENCHMARK:
S 1418
2.65 MI EAST ALONG 3RD STREET FROM THE SAN BERNARDINO COUNTY COURTHOUSE IN SAN BERNARDINO, 0.10 MI WEST OF STERLING AVENUE, IN TOP AND 1.0 FT WEST OF THE EAST END OF THE NORTH HEADWALL OF A DOUBLE-BOX CULVERT UNDER THE STREET, 32.0 FT NORTH OF THE WESTBOUND LANES CENTERLINE.
ELEV. = 1101.15

BASIS OF BEARINGS
THE BEARINGS SHOWN HEREON ARE BASED UPON THE LINE BETWEEN CITY OF SAN BERNARDINO HORIZONTAL CONTROL POINTS #0025 AND #0026 BEING N29°03'47"E AS SHOWN ON RECORD OF SURVEY 97-0077 RECORDED IN BOOK 113, PAGES 15-22 OF RECORDS OF SURVEY.



PLANS PREPARED UNDER SUPERVISION OF:

PARSONS BRINCKERHOFF
451 E. Vanderbilt Way Suite 200, San Bernardino CA
TEL: 909.888.1106 FAX: 909.889.1884
**FOR BIDDING PURPOSES ONLY
NOT FOR CONSTRUCTION**

REVISION BLOCK			
MARK	DESCRIPTION	APPR	DATE

DESIGNED BY
SS
DRAWN BY
BW
CHECKED BY
CCI
DATE
10/10/2014

INLAND VALLEY
DEVELOPMENT AGENCY

1601 E. THIRD ST.
SAN BERNARDINO, CA 92408
P. 909-382-4100 F. 909-382-4106

General Aviation Hangars

HANGAR LAYOUT

SHEET TITLE:

HL-03

SHEET No.
11 OF 11